

# Design Statement for the Parish of Billingshurst





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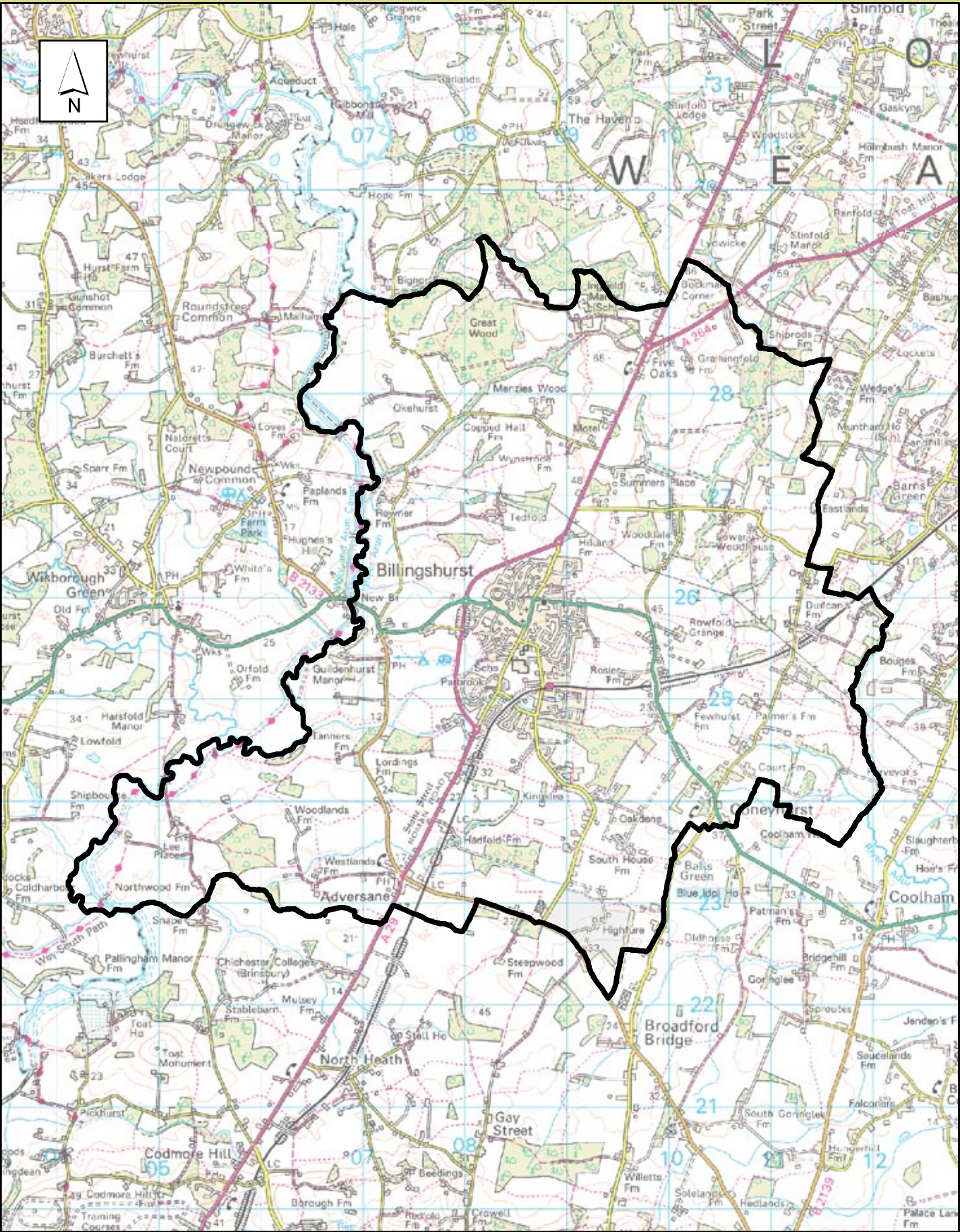
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# 1. Introduction to the Billingshurst Parish Design Statement

The parish of Billingshurst consists of the village of Billingshurst itself, within which there are quite distinct centres of habitation, together with a number of outlying hamlets – Adversane, Coneyhurst, Five Oaks and Newbridge, and isolated groupings of dwellings and agricultural buildings.

## This Design Statement

- is intended to apply to any future development in Billingshurst itself and the other centres of habitation within the parish boundary.
- is applicable to all developments, industrial, commercial or domestic, whether the construction of a large estate, a group of buildings, a single dwelling, or the alteration or extension of an existing property
- is only concerned with the visual character of the parish and how it might be protected or enhanced and is not meant to detail what type of development should take place in the parish or the state of the local services
- has been prepared by Billingshurst Parish Council after consultation with the inhabitants and local groups and organisations of the parish and in accordance with the advisory booklet on village design published by the Countryside Commission.

## Purpose

Its purpose is to assist residents of, and businesses located in, the parish in the preparation of a planning application and to guide them, planners and developers as to what will enhance the quality of life for the residents, not only in the design and materials of the buildings, but also the lay-out of facilities, landscaping and infrastructure.

# 2. Link to the Local Development Framework

The Billingshurst Parish Design Statement is to be adopted by Horsham District Council as a Supplementary Planning Document (SPD) and will sit within Horsham District Council's Local Development Framework (LDF) as a Local Development Document.

A Supplementary Planning Document is used to supplement Development Plan Documents (DPD) such as the Core Strategy and Development Control Policies to provide further detail on policies and proposals that are not within the scope of the Development Plan Document. As a statutory document, the Billingshurst Parish Design Statement Supplementary Planning Document is subject to the Planning Regulations which require, amongst other things, a period of public consultation on the draft Supplementary Planning Document and will require formal agreement by Horsham District Council Members.

The role of Parish Design Statement is recognised in policy CP3 of Horsham District Council's adopted Core Strategy for improving the quality of new development. The policy requires development to complement the varying character and heritage of the district as defined in Parish Design Statement produced to indicate areas of good design applicable to locally distinctive areas.

# 3. The Parish Of Billingshurst, its settlements and how it has grown

The parish of Billingshurst is set in the low clay Weald within sight of the Downs. Much of the landscape, although unspectacular, retains its ancient aspect. Clay makes for difficult farming and for centuries woodland management and pasture with some arable farming were the principal local activities. There are numerous scattered farmsteads, some with boundaries established in Saxon times. Until the 19th century almost all of the parishioners would have been engaged in

agriculture, and related activities, and most lived on or near the farms. The parish is rich in wealden vernacular buildings, many built of timber and locally made bricks and tiles; some retain their Horsham stone roofs. Most retain their ancient names. Local stone was occasionally used for building but much was burnt as fertiliser. There were no great houses until the later 19th century when it became fashionable for a gentleman to have sporting interests.



Extract from the Tithe Map of 1841



Roman Stane Street was laid in the mid 1st century. It bisects the parish and is still mostly on its original alignment. Stane Street was the earliest factor in the development of the parish and continues to exert a major influence. The earliest distinct communities were established where Stane Street coincided with a reliable water supply notably Adversane, Parbrook and Billingshurst. Adversane developed on the crossing between Stane Street and the ancient drove road leading towards Newbridge. Five Oaks was established in the 17th century.

The population of the parish in the mid 18th century was put at about one thousand. There is little evidence of building in the Georgian period but there were developments in Billingshurst High Street from about the 1840s.

The Wey and Arun canal introduced new commerce to the parish in the 18th and 19th centuries, via the canal wharf at Newbridge. Most of the Victorian slate roofing, and coal, lime and chalk were brought via the canal. The opening of the railway in 1859 provided an outlet for farming industries and did most to underpin commercial and industrial development, especially around the old railway sidings of Billingshurst.

The population remained stable at about two thousand during the first half of the twentieth century but following the Second World War much residential development took place and a number of light industrial estates were introduced in Billingshurst. Pre and post war Council housing developments provided much needed homes for local people.

The A272 was until fairly recent times merely a local route but is now one of the principal cross country routes.

In former times Billingshurst Village was the centre of the largely agricultural parish. It was also a centre for the brewing trade and had three malt houses which used the barley from surrounding farms. Although agriculture is still a major local activity, very few people are needed to work the land. Transport connections to London, Gatwick Airport and Crawley provide employment opportunities. The parish supports a wide range of industries many of which are highly specialised. Few residents work within the parish and many come in to their workplaces. The Weald School serves Billingshurst and surrounding areas and enjoys an excellent reputation.

Until the 20th century the Civil Parish was virtually coterminous with the ancient parish. In the 1930s the Civil Parish was extended as far as the River Arun, taking in ancient landholdings such as Guildenhurst, Streele and Lee farms which, with most of Newbridge, were formerly in the parish of Pulborough. Until recently, developments tended to occur within old landholdings: the most recent developments have obliterated some old boundaries. Despite major housing and industrial developments Billingshurst, as the centre of the parish, still enjoys a strong community spirit. The rural spaces between Billingshurst and neighbouring towns and villages serve to enhance the “sense of place”.

#### 4. Billingshurst Today

Billingshurst is set approximately six miles south west from the town of Horsham and 43 miles from London. The nearest coastal resorts are Littlehampton and Worthing which are about 18 miles distant. It is set around the crossroads of the A272 and the old Stane Street, (A29) Since the development of new housing, it has a population of around 7,600 (2006).

Billingshurst has a railway station with a direct link to London and the South Coast making it an ideal commuter location. There is a bus service to the surrounding villages and to two of the nearby larger towns, Horsham and Chichester.

The Weald Community School is Billingshurst’s own secondary school set within the South East corner of the village. It also offers Adult Education facilities. The Infant and Junior Schools are close to the Weald Community School. In addition there are Toddler Groups and Play Schools.

Boasting a variety of independent High Street shops and the Jengers Mead shopping centre, Billingshurst also has a medium sized supermarket, a post office, banks, estate agents, solicitors, accountants, several good restaurants and pubs and an excellent library.

Recent housing development has seen an influx of new residents into the area and there is a favourable blend of new and old. This

is reflected in the buildings that make up the town, where the new complement the historic and the older style properties. Billingshurst has a large conservation area in the heart of the village, more details can be found in appendix 1.

The village also has its share of Industrial Estates at Eagle, Huffwood, Gilmans and Daux Road containing engineering companies, toolmakers and specialists as well as a variety of new industries such as computer specialists, web designers and printers.

In recent years the old village hall in the High Street was converted to residential accommodation and a modern village hall built as part of the housing development of Roman Way. This development included a new health centre and surgery.

To the west of the bypass Jubilee Fields an integrated sports and leisure complex with cricket and football pitches has been provided together with a fishing lake and other recreational facilities.

There is a full size swimming pool and fitness suite at the Billingshurst Leisure Centre adjacent to the Weald School for use by the whole community.

Billingshurst centre has been enhanced with pavement layout and street furniture to improve the visual aspect of the focal point of the community.

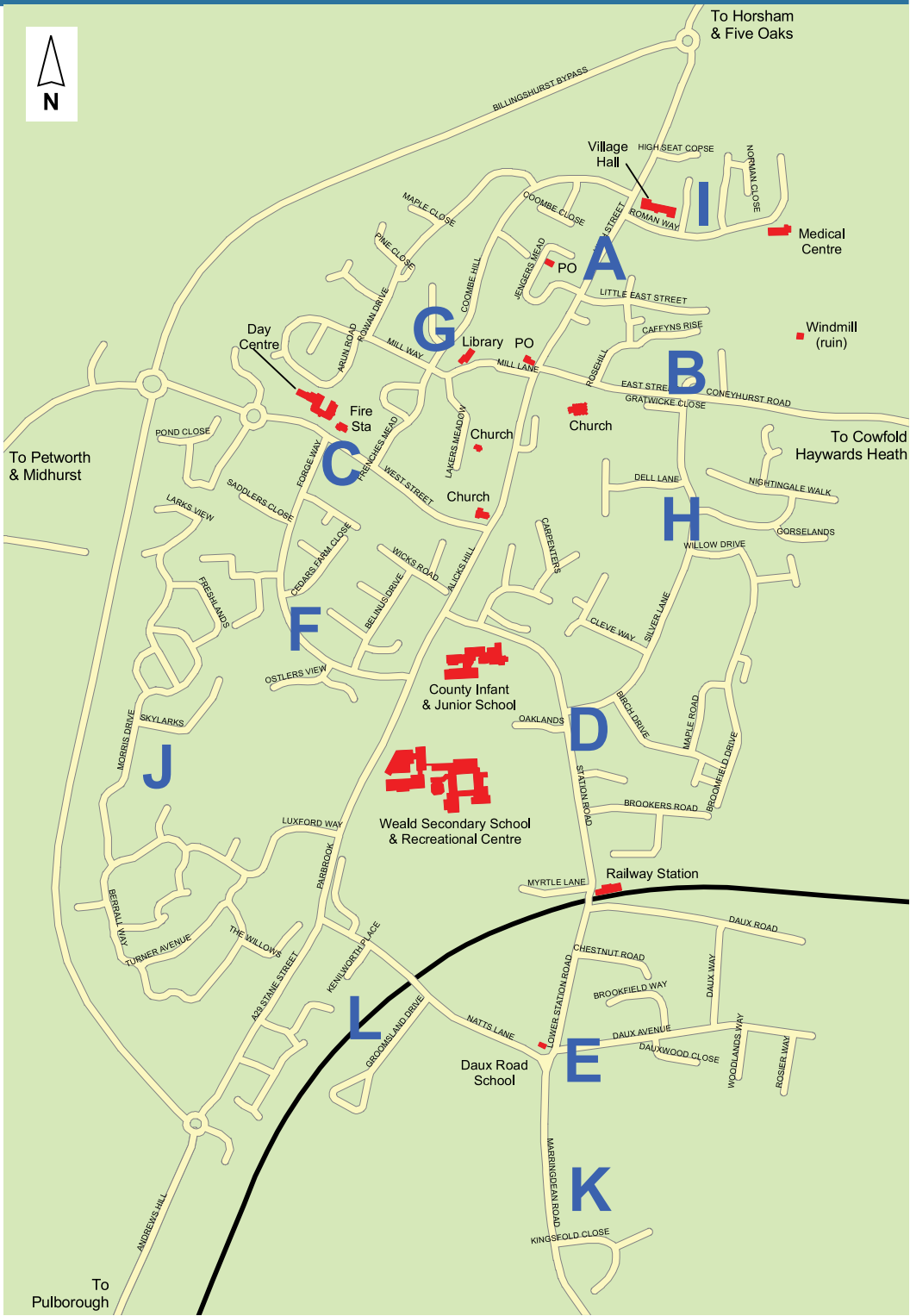


Billingshurst High Street with Enhancements



5. Development in Billingshurst

Since development in Billingshurst occurred in discrete areas containing individual and often unique architectural features they have been examined separately in the areas indicated on the plan right:



A: High Street/Alicks Hill



Early developments were centred on the High Street with a mix of Medieval, Edwardian and Victorian buildings. In the 1960s the shopping precinct at Jengers Mead was developed. The style incorporated nothing of local vernacular architecture and is representative of many anonymous 60's developments throughout the country.

More recent development at the northern end of the High Street, adjacent to Jengers Mead has incorporated features from the mix of Medieval, Edwardian and Victorian buildings and blends in very well with the mix of styles in the locality, tending to restore something of the pre 1960s small scale domestic character of the area.



The High Street area contains many fine examples of Tile Hung Elevations together with painted brickwork and horizontal clapboarding which could be said to be representative.

Village Green

The area of land in the High Street adjacent to the busy junction with the A272 is known as the Village Green. The land is formally registered as a village green and is planted each year by the Parish Council. This village green in the heart of the High Street is a treasured amenity. The row of medieval houses set back behind the green are known as 'the Causeway' and form part of an important streetscene in the heart of High Street and Conservation Area.







### High Street Enhancements

The bypass has removed the majority of through traffic in the High Street. The introduction of a 20mph speed limit and decorative paving has made the High Street look very pedestrian orientated. The narrow roads and alleyways including Ten Steps to St Mary's Church help the High Street retain its quaint village outlook.

### Mother's Garden

Further along the busy High Street is a hidden gem called the Mother's Garden. The Trustees of the Women's Hall maintain this green space, in the middle of the High Street, as a garden for children.



### Planning Considerations

- ▮ Careful attention should be paid to the overall streetscene.
- ▮ Northern end of the High Street is at a significantly higher ground level than the southern end, thus height of new buildings should be carefully controlled.
- ▮ Development should complement the mix of Medieval, Edwardian and Victorian buildings - pitched dormers, painted brickwork, tile hung elevations, clapboarding.
- ▮ Cottage like appearance of dwellings should be continued.
- ▮ Paved pedestrian areas and sympathetic street furniture theme to be continued.
- ▮ View to the Church from any of the village entrances should not be obscured.



B: East Street



Further 'ribbon' development took place along East Street, some in Victorian times but expanding in the 1930s. The Rosehill development took place in the 1960s with later expansion to include sheltered accommodation and more recently into Caffyns Rise. Luggs Close was constructed in 2006, a development of housing for retired people.

Views to and from the Church

The Parish Church of St Mary is a Grade I listed building and stands on a hill near the centre of the village in East Street and the Broach Spire can be viewed from most parts of the village. **These views are very precious and worthy of protection by preventing new buildings obscuring the line of sight to the church spire wherever possible.**

**The Church** is built mainly in the perpendicular style but the earliest parts date from the 12th Century. During the centuries the church has been added to and extended. It was extensively restored in 1866 with local stone.



East Street also contains examples of Tile Hung Elevations and Painted Brickwork which has been continued into more recent development together with typical Victorian brick villas and later chalet bungalows.

The main A272 east-west road through Sussex cuts through the centre of the village along East Street onto the High Street and out through West Street. Heavy traffic is forced through the narrow junction on the corner of the Village Green.



**Planning Considerations**

- ▶ Pitched front gables to bay windows, painted bargeboards, tile hung elevations, painted brickwork.
- ▶ Heavy traffic may cause noise nuisance to properties set close to the road.
- ▶ Due to the gradient of East Street and predominance of two storey buildings, the height of new buildings should be carefully controlled.
- ▶ Most important aspect of the whole Design Statement is the retention of views to and from St Mary's Church.

A popular walkway through the gardens of Chime and Robin Cottages to St Mary's Church.





## C: West Street/Newbridge Road

West Street's development consists of a mix of Victorian/Edwardian villas and cottages with progressively more modern houses including some recent infill. The modern buildings reflect the painted decorative bargeboards of the Victorian/Edwardian villas.

Close to the village boundary a new care home has replaced an older home and echoes the coloured brickwork of Edwardian properties in West Street. The more recent development of Holders Close (2005-6) includes a mix of styles and sizes with incorporation of 'green' courtyards.

The prominent building material in West Street is red brick with some fine examples of contrasting brick colours.



### Planning Considerations

- ▶ Painted decorative bargeboards, contrasting brick colours, decorative brickwork, sash windows.
- ▶ Existing cottages close to road and thus unsuitable for off road parking on frontage.

## D: Station Road, Brookers Road



'Victorian/ Edwardian' development took place along Station Road with the coming of the railway. Projected front gables with painted bargeboards form part of the prominent character, as can be seen in front porch and bay windows.

The signal box at Billingshurst Station is a listed building, it was erected in 1876, but is thought to originate from the 1860s. It is probably the oldest working signal box with original frame on the British system. It is the only remaining example of the first standard signal box design.

The footbridge at Billingshurst Station is also a listed building. It is a cast and wrought iron footbridge. A wrought iron lattice girder with flat centre and arched ends is supported on four cast iron columns on either platform. It has group value with the immediately adjacent signal box.

Industrial development proceeded in Brookers Road, initially in the 1950s followed by smaller starter units in the 1970s.

Some of the earlier development has been replaced in the 1960s/1970s with houses and blocks of flats and with sympathetic office premises.



### Planning Considerations

- ▶ There is a considerable mix of building styles and materials reflected by their period of development, including painted brickwork and exposed brickwork with some rendering.
- ▶ Parking is in extremely short supply around the station. Workers park in the side roads for the many businesses in this small area.
- ▶ Operation of the crossing gates slows traffic throughput.



## E: Lower Station Road, Chestnut Road, Daux Road, Daux Avenue

'Victorian/ Edwardian' development took place along Lower Station Road with the coming of the railway. Note these properties are in close proximity to the road leaving little room for driveways and off road parking, having been built in an era when the car was only affordable by very few. Their occupants would have used the railway to travel to work. Lower Station Road has a mix of properties sizes



and styles giving this area of Billingshurst its own character as you leave the centre of the village and travel out to the more rural area.

Daux Road and Daux Way (between Daux Road and Daux Avenue) includes uninspiring industrial units with no attempt made to blend in with the local housing.



### Planning Considerations

- Construction in this area began with Victorian and Edwardian Villas, and in the 1930's chalet bungalow types of homes in the Daux Avenue area were added. There has been later infill of more modern types. The dominant building material is local brick either red or multi-stock. The mix of styles is part of the charm of this area of Billingshurst.
- Parking is at a premium, with commuters parking all day in these roads taking spaces from workers and local residents.
- Frontages close to road leave no room for off road parking.

## F: Forge Way/Belinus Drive

To the southwest early development took place in the 1970s, mainly in the Forge Way, Belinus Drive area, incorporating open space and play areas. These properties feature open frontages as pictured right. An area of land in Forge Way was the subject of a Public Enquiry in 2004, when West Sussex County Council decided the land was no longer required for a new school, and sold it for a development of 59 houses.

### Planning Considerations

- Open frontages to houses.
- Wide verges.
- A culvert runs through the estate.



## G: Coombe Hill/Frenches Mead

To the northwest, development in the Coombe Hill and Frenches Mead area was constructed in the 1940s incorporating green space and play areas. Properties are predominantly brick construction with large gardens, many now incorporating off road parking as the roads are fairly narrow and are further narrowed by on street parking.



### Planning Considerations

- Large gardens
- Housing constructed around green open space, e.g. Frenches Mead.
- Narrow roads congested by long stay parking for the shops

Modern development in Laker's Meadow in the 1990s incorporated tile hung elevations and painted coloured doors as seen in the older properties in the nearby High Street.

### Planning Considerations

- Tile hanging
- Painted coloured doors





## H: Silver Lane/Broomfield Drive/St Gabriel's Road

The Silver Lane development took place on farmland close to the south-east of the village in the 1960s. This development, which included Broomfield Drive, Birch Drive and Cleve Way, was typical 1960s development with a variety of styles with open frontages and grass verges planted with trees giving a very pleasant open, spacious appearance.

Further construction off Silver Lane in the St Gabriel's Road and Dell Lane areas followed in the 1980s. The styles in these areas are very different from the original Silver Lane development.

The Silver Lane area is of such diverse character that a development of individual houses in a more modern style could be considered should any redevelopment be contemplated.



### Planning Considerations

- ▮ Wide road
- ▮ Open frontages, houses set back from the road
- ▮ Tree lined wide grass verges

## I: Roman Way

The Roman Way development took place in the 1990s and was constructed in conjunction with the new Village Hall which has pitched dormers and front gables.

A new medical centre and housing, the bulk of which is low cost for first time buyers, contains elements of social housing. These modern properties pick up the pitched front gables seen in the High Street and tile hanging.



### Planning Considerations

- ▮ Modern estate with predominantly smaller properties
- ▮ Small front gardens
- ▮ Off road parking
- ▮ Tile hanging, pitched front gables





## J: Penfold Grange Estate

The construction of the Stane Street/A29 bypass led to further major housing development to the south west of the village in 2001/2. The houses in this design award estate have included many of the

desirable architectural features to be found in the parish together with the incorporation of open spaces, sympathetic landscaping and courtyard designs.



### Planning Considerations

- ▶ Courtyard layouts
- ▶ Contrasting road surface.
- ▶ Varying styles of houses, tile hanging, painted brickwork in the same streetscene.
- ▶ Style of houses reflect a mix of Sussex style houses and groupings of houses – creates a sense of space.
- ▶ Landscaping.
- ▶ Decorative street furniture.

## K: Marringdean Road

Marringdean Road consists of individual homes of many eras in a rural setting spaced well apart. Marringdean Road has the character of a

rural lane as you leave the village. There has been a more recent development of a small estate at the western end.

### Planning Considerations

- ▶ Rural lane character
- ▶ Properties set back off the road
- ▶ Properties set in larger plots

## L: Natts Lane, Parbrook

Natts Lane includes the Gilman's Industrial Estate which consists of the all too common 'shed' construction with vast concrete paved areas.

Groomsland Drive, off Natts Lane, is a typical 1940s development including social and private housing. The green in the centre was registered as a village green by the residents in 2007.

Hurstlands is a more recent development of 1970s 'modern' housing and Kenilworth Place (2005) consists of mock Victorian detached dwellings.

Parbrook, the former A29, at the far southern end of the village consists of a number of Victorian and older cottages and dwellings that could almost be described as a hamlet. Note the tile hanging seen elsewhere in the parish.

Recent housing construction here has become incorporated into the Penfold Grange estate.

The area contains many fine examples of Tile Hung Elevations together with Painted Brickwork and Clapboarding which could be said to be representative.

The modern development at Cranham Avenue and Bridgewater Close does not incorporate the traditional Parbrook styles but being totally separate does not clash with it.

### Planning Considerations

- ▶ Natts Lane and Parbrook have housing from 1940s, 1970s to the modern day. Each era of housing is within a self contained small development.
- ▶ Natts Lane is a semi rural road constrained by the railway bridge.
- ▶ Small hamlet character of Parbrook.



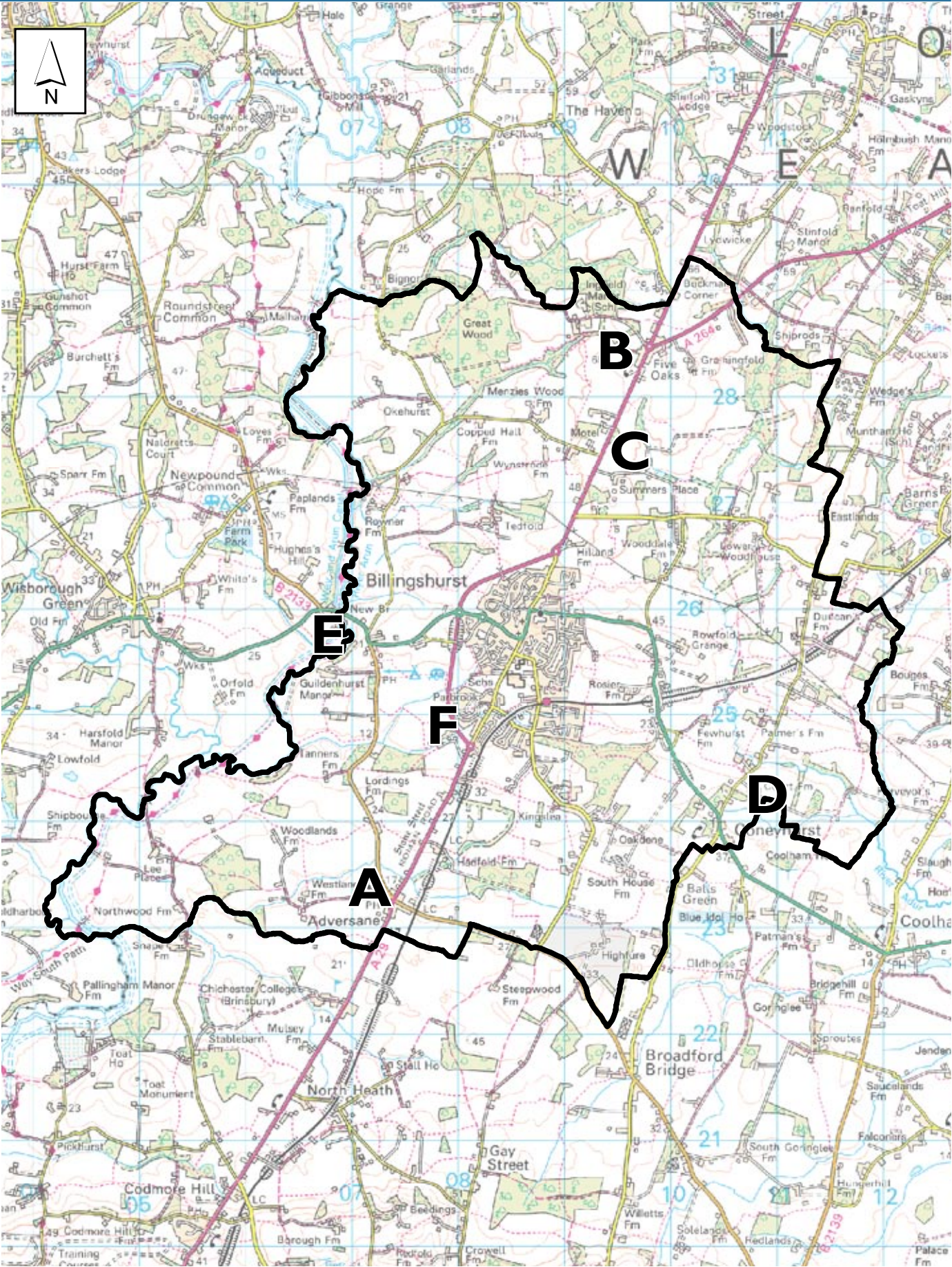
## M: Other Areas

In addition to the above there are other areas of habitation which could be defined as settlements, namely: Andrews Hill, Okehurst and Tedfold. There has been recent limited development at Tedfold. The better quality developments have tended to draw upon vernacular

styles that tend to contribute to the locality and are likely to remain popular in the future especially where planning has enabled off road parking which was not envisaged in some of the post war developments.



6. The Hamlets



A: Adversane



Adversane Mission Hall

Included among these is the Village Hall originally built as a Mission Hall in the 1920s, and now used also by a nursery school.

The shop and post office no longer remain and the hotel, restaurant and antiques centre have also closed.

The hamlet has a long history and strong community which wishes to retain essential qualities of a hamlet linked closely to its farms and rural surrounds.

The houses in the hamlet are mixtures of cottages amongst a significant number of more substantial dwellings many of them dating from the 15th Century. Outlying farms and agricultural cottages mirror this mixture. The housing styles are very typically Sussex with timber frame, tilehanging and weatherboard cladding.

Adversane is a hamlet two miles south of Billingshurst centred around a green at a crossroads on Stane Street. The crossroads have been a black spot for traffic accidents. The surrounding hedged fields are grasslands. To the east the railway runs parallel to the main road. Houses surround the green and a short distance along each of the roads leading from it.

The green and central part of the hamlet is a conservation area, further information can be found in appendix I. The open appearance of the green as you travel through Adversane on the A29 is a key feature of this hamlet. To the west of the green is the Blacksmiths' Arms, beside which used to stand the forge.



On the east side of the green is a row of cottages which were formed out of an old Malthouse. The malthouse cottages are stone and this is reflected in the style of the terraced houses which replaced the hotel next to the pub.

Other new houses are mainly brick. Between the green and the railway crossing are the majority of other houses in the hamlet.



Planning Considerations

- Open aspect of the village green.
- Small ribbon development around the intersection of the A29 and B2133.
- Ribbon development should be contained to the hamlet.
- The housing styles are very typically Sussex with timber frame, tilehanging and weatherboard cladding.
- The hamlet of Adversane is surrounded by countryside.



### B: Five Oaks



The present day Five Oaks hamlet is sited north of Billingshurst at the junction of the A29 from London to the South Coast and the A264 which is the main route from Horsham to Billingshurst.

The area has seen several changes: the Mission Hall was replaced by a bungalow and the garage that is there now replaced the old garage, filling station, shop and Five Oaks Inn.

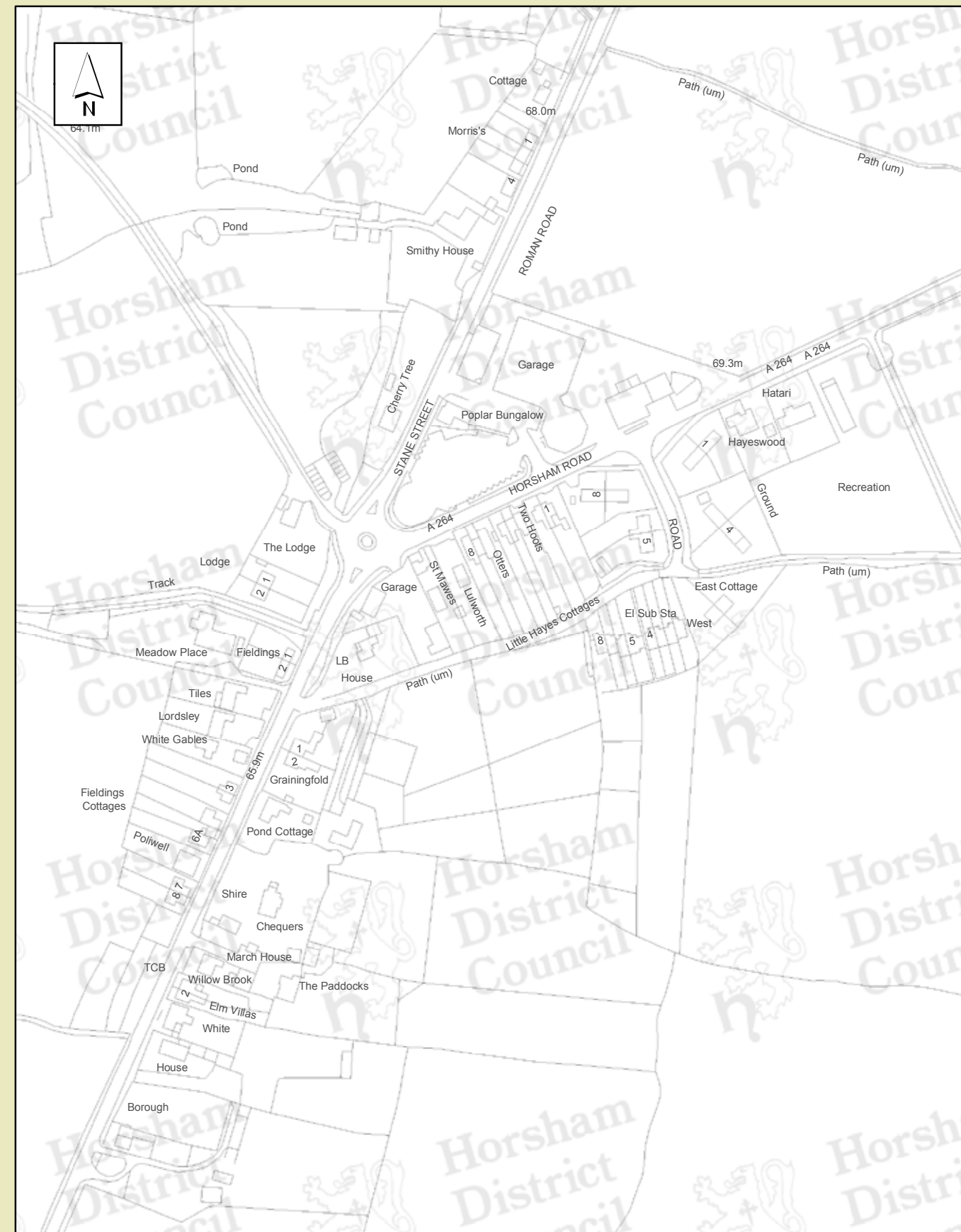
The only facility that Five Oaks has is a small playing field with sloping land, and two swings, which the Parish Council rent from a local landowner for a peppercorn rent.

In view of the size of the settlement, a relatively high proportion of higher density infill building has been allowed. This has resulted in the character of the dwellings ranging from 16th Century to modern, with the majority Victorian.

There are many fine examples of vertical tile hanging in Five Oaks.

## Planning Considerations

- Properties set close to the road.
- Examples of fine decorative tile hanging.



## Five Oaks

Horsham District Council

Park North, North Street, Horsham  
West Sussex, RH12 1RL.  
Head of Development, Ray Wright, Directorate of Planning

Reference No :

Date : 9/10/07

Drawing No :

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C: Summer's Place

Summer's Place dates back to the 13th century, when it was presented to Roger de Someri as part of a knight's fee. It was rebuilt in 1880 to the designs of gentleman architect John Norton. After the Second World War, it was adopted as a convent school - Immaculate Heart of Mary until in 1984 when it became the prestigious base for Sotheby's auction specialists in the Southern counties.



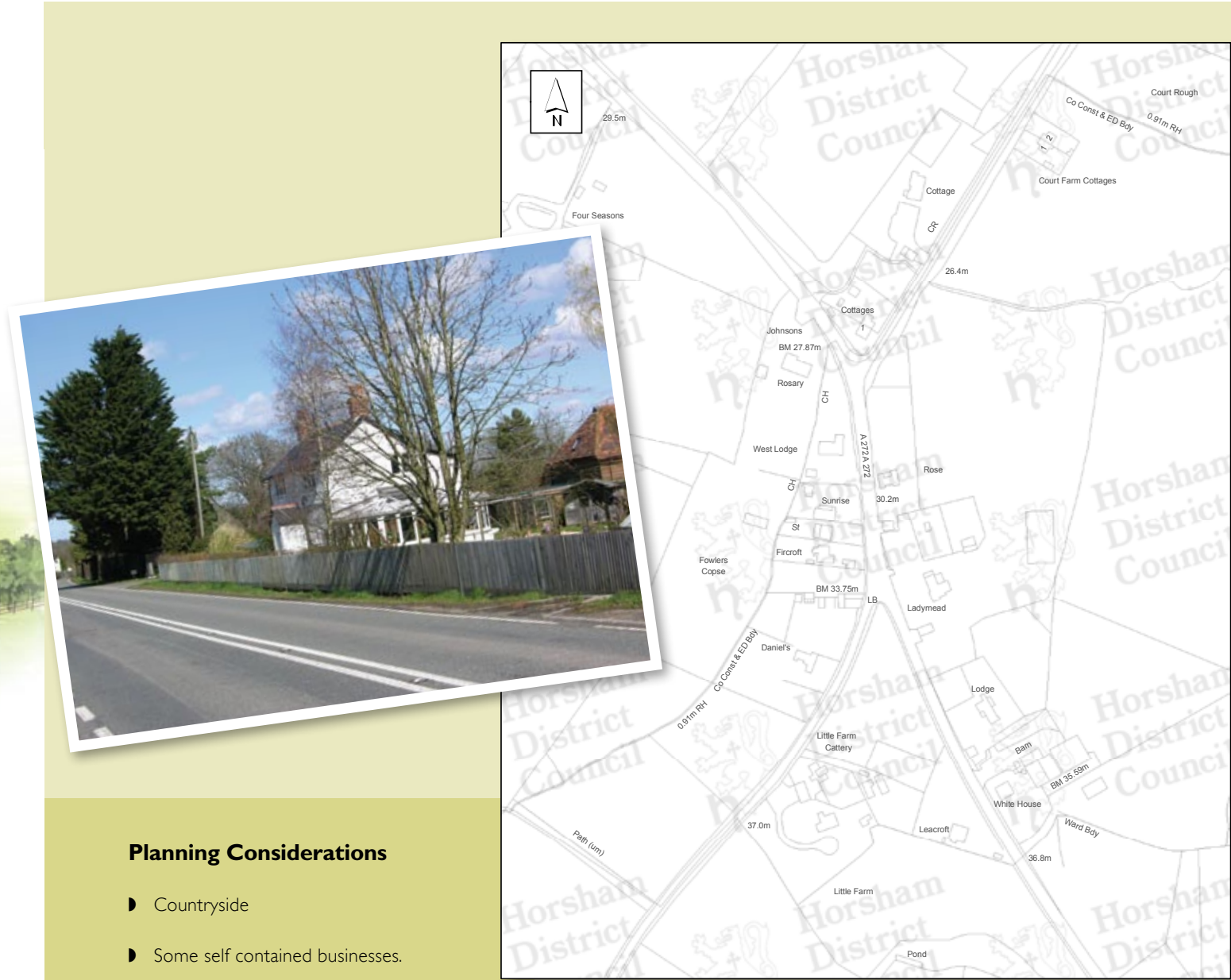
The site has been purchased by Berkeley Homes, and the Manor House has been converted to apartments. A sympathetic extension has been added to the Manor House as shown below, and apartments built in the grounds of the house in the 33 acre site.



D: Coneyhurst

Coneyhurst is a small hamlet to the east of Billingshurst, situated either side of the busy A272. Over the years this largely farming community grew crops as varied as wheat, maize and barley. Now it is still mainly surrounded by farming land, has no shops or other infrastructure and depends on Billingshurst for all services. Houses in this area vary in age and style. There are a number of local businesses.

The Blue Idol Quaker Meeting House is situated in Coneyhurst. Originally a farmhouse built around 1580, the Blue Idol is a grade II listed building which has been used as a Meeting House since 1600. Its earlier name was Little Slatters, as it may have previously formed an outlying part of Slaughterbridge Farm.

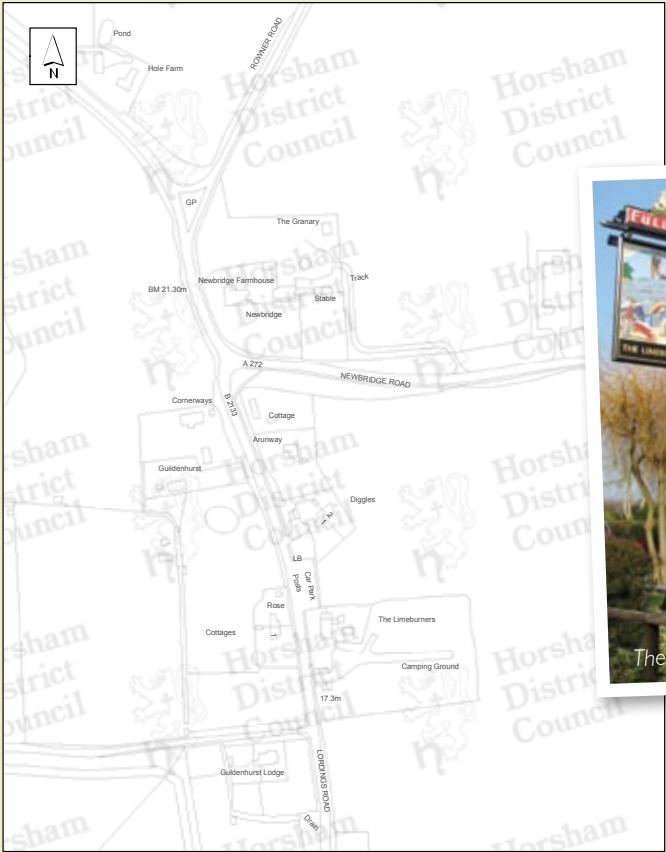


Planning Considerations

- Countryside
- Some self contained businesses.



E: Newbridge Hamlet



This small community is centred on the crossroads of the A272 and the B2133 and consists of a number of scattered households and the Limeburners pub to the southeast. Most of the houses originated as farms or cottages dating from the 15th century.



- Farming community
- Individual character cottages

F: Parbrook

Planning Considerations

- Individual character cottages
- Important street scene entrance to Billingshurst



7. Business

Industrial Areas

The main industrial areas of the parish are in Billingshurst, with industrial estates at Brookers Road (Eagle and Huffwood), Natts Lane (Gillmans), Daux Road and Daux Way although there has been some development in Rosier Farm on the A272 to Coneyhurst. Access to the Natts Lane and Daux Road estates in Billingshurst is restricted by a low railway bridge in Natts Lane and a level crossing over the railway in Station Road.



Commercial & Retail

*Upper Left:* 1960's commercial development paying no heed to local features.  
*Upper Right:* More sympathy...  
*Lower Left:* Victorian ...

The parish is served by a small centre of different shops in Billingshurst providing basic needs and some specialised retailers. There are also a number of non-retail businesses by way of offices, mainly occupying the upper stories of retail outlets. A number of farm buildings have also been converted to provide small office accommodation.

The number of Take-away and Estate Agent businesses continues to grow and occupy retail properties.

Billingshurst has one medium sized supermarket in the High Street and a convenience store by the railway station. Much use is made of these but a high proportion of residents do travel to find larger facilities. It is hoped that the enhancement of the High Street has attracted more shoppers and therefore more businesses.





Public Conveniences



Tucked just behind Billingshurst High Street are public conveniences, essential to encourage day trippers to visit Billingshurst.

High Street Enhancements

The long awaited improvements to Billingshurst High Street were unveiled just before Christmas 2006. The works, which cost £400,000 and started the following June, were undertaken by Horsham District Council and West Sussex County Council whilst being paid for fully through developer contributions.

Visitors to Billingshurst High Street are able to experience a more pedestrian friendly area. The High Street between East Street and Jengers Mead has been made more accommodating for shoppers by widening the footways in new block paving and installing new street furniture and street lighting.

Added to this, new mini-roundabouts at East Street and Jengers Mead have helped the creation of a 20mph zone which will reinforce the overall quality environment that has been created.

Outside Martins Newsagents there is an area of decorative paving with new seating, a bus shelter and spherical bollards to add interest and create a focal point in the High Street where people can meet.

The newly installed ornate street lights are unique in style to Billingshurst and the blue colour of the columns and other street furniture helps create a quality street scene complimentary to the shop fronts and other buildings.

It is particularly important that any work by statutory undertakers in the High Street is re-instated with the same decorative paving. Tarmac patching should be strongly resisted.



8. Open Space and Recreation

Billingshurst has a number of open spaces and recreation grounds interspersed in the parish, which are worthy of note in this Design Statement to set in context the built environment with open spaces. The community sports facilities have continued to expand and grow with the establishment of the Jubilee Fields facility on the northern side of the bypass in Billingshurst including Pavilion and Fishing Lake.

Jubilee Fields

The Jubilee Fields complex covers 38 hectares and includes four senior and one junior football pitch, cricket square, woodland, picnic and recreation areas, trim trail, sports pavilion and fishing lake.



In 2007, Jubilee Fields was highly commended under category 4 'The Open Space Award' by the West Sussex County Council Design and Sustainability Award.

In the Burnt Row Woodland, there is a well fed by spring water which flows at a rate of 324 litres per hour or 5.4 litres per minute. The well has a capacity of 6,565 litres and is 7 metres deep with no bottom.



Fishing Lake

The fishing lake covers an area of 4,000 square metres and holds 4,000 cubic metres of water. At its deepest point it is 2.25 metres deep, and at its shallowest 0.5 metres. There are fifteen fishing platforms and a remote island.

Trim Trail

The Trim Trail forms a circuitous route around the football pitches and has 14 exercise stations, three bridges and five bench pads.





Manor Fields

The Manor Fields playing field is located behind the Coombe Hill development bounded by the Billingshurst bypass.



Cherry Tree Close Play Area

There is a small area of open space and children's play area behind the houses in Arun Road.



Station Road Gardens

The Parish Council has consulted during 2007/8 on the future of the old cricketfield in Station Road. The land will be known as the Station Road Gardens, and a design for the gardens has been agreed by Council to include ball park, youth shelter, sensory garden, children's adventure trail and open space. Funding is now being sought to turn the vision into reality.



Lower Station Road Recreation Ground

The Lower Station Road recreation ground is a popular open space in the southern end of the village. It has a skate park, basketball hoop and goal units for the youth, children's play area, open space and the Parbrook runs through it.



Five Oaks Play Area

There is a small play area in Five Oaks located behind the houses in Hayes Wood Road on land that the Parish Council leases from a local landowner.



Allotments

There are 58 allotment plots in Billingshurst situated on private land in the heart of the village behind the High Street on land just south of Roman Way. With reference to the Kit Campbell Associates study for PPG17 commissioned by Horsham District Council in 2005, the average people population per allotment plot is 171 in Billingshurst. This can be compared with an average people population (outside Horsham town) of 109 people per allotment plot. Therefore one can draw the conclusion that there is already an under provision of allotment plots in Billingshurst.

9. Rural

Rural Areas, Natural Environment, Woodland and Sites of Special Scientific Interest (SSSI)

Billingshurst Parish spreads over an area of 32km<sup>2</sup> and apart from the built up areas of Billingshurst Village (3km<sup>2</sup>) the surrounding areas are predominately agricultural, woodland and water meadows. The soil is heavy Wealden clay with pockets of a lighter tilth. The Parish is rectangular in shape and stretches 6km north to south and 6km east to west.

Heights and Natural Features

The hamlet of Five Oaks is the highest point in the parish at 70m above sea level. Billingshurst village occupies land mostly above the 25m contours. The centre of the village is dominated by St Mary's Church, which stands at a height of 35m.

Drainage

The eastern boundary is marked in places by the upper waters of the River Adur and the western boundary follows the Arun River and Wey & Arun Canal. Other Parish boundaries follow field and woodland perimeters in the areas of the hamlets of Five Oaks in the north and Adversane to the south.

The village of Billingshurst and the surrounding hamlets and road system occupy an area of approximately 4km<sup>2</sup>, woodland covers an area of 5 km<sup>2</sup> and the remainder is agricultural land of mixed use (arable and livestock). The north/south line

of the natural watershed between the Arun and Adur rivers systems bisects the Parish and is also the route of the ancient Roman road (Stane Street) and the modern A29. The Parish has numerous small streams across its area, also lakes, ponds and wells. These provide the necessary drainage of the area and a water habitat for wildlife. The Billingshurst village area drains westwards towards the Arun Valley via Parbrook.

The Arun Valley and meadows provide a vital drainage area for the headwaters of the Arun from the north of the parish to the south, and onto the English Channel. Winter floods regularly flood many of the water meadows below the 10m contours.

Footpaths and Bridleways

The Parish is fortunate to have a 72.6km network of footpaths and 14.9km of bridleways criss crossing the area. Many have agricultural origins and some are hundreds of years old often following field boundaries from farm to farm or hamlet. They provide valuable, quiet corridors for humans and wildlife.

Woodlands

The Parish has 32 named woods scattered throughout its area. There are conifer plantations, mixed woodland, Ancient

Woodland, sites of Special Scientific Interest and of Nature Conservation Importance, a number of small copses and extended hedges and headlands. (See Appendix 2). Landowners have planted many trees in recent years encouraged by Government agencies and funding. Total area 5km<sup>2</sup>. The woodlands provide a valuable habitat and shelter for native flora and fauna, a source of income for landowners (timber and shooting rights) and recreational areas for the local population.

Landscape Character Assessments

Land Management Guidelines have been drawn up by West Sussex County Council as part of their 'Strategy for the West Sussex Landscape'. The parish of Billingshurst is covered by three sets of guidelines as follows:



# Upper Arun Valley

The Upper Arun Valley character area, stretches northwards from Pulborough towards Horsham. The valley is relatively narrow with gently to strongly undulating sides, small to medium size pastures, and curving, narrow strips of deciduous woodland along the river and valley sides.



## Key Characteristics

- ▶ Mostly narrow valleys with undulating valley sides.
- ▶ Lush valley bottoms with small, drained, irregularly shaped pastures.
- ▶ Occasional curving strips of woodland on valley sides.
- ▶ Tightly meandering and steeply banked river and stream courses.
- ▶ A few widely dispersed small farms on elevated valley sides.
- ▶ The Wey and Arun Junction Canal which is currently being restored.
- ▶ Mostly rural unspoilt character except for urban edge influence around Horsham and some road and aircraft noise in places.
- ▶ Distinctive stone and brick bridges.

## Historic Features

- ▶ Historic mills.
- ▶ Moated farmsteads.
- ▶ Small irregular field pattern.
- ▶ Stone and brick bridges.
- ▶ Wey and Arun Canal.
- ▶ Ancient tracks, pathways, hedges and field boundaries

## Biodiversity

- ▶ Rich marginal vegetation along many riverbanks and watercourses supporting notable dragonfly interest.
- ▶ Small valley side broadleaved woodlands.
- ▶ Unimproved pastures.
- ▶ Small ancient woodlands.

## Change - Key Issues

- ▶ Introduction of concreted sections on river banks.
- ▶ Possible pressures for engineered flood defences.
- ▶ Loss of hedgerows and woodland on valley sides.
- ▶ Decline in traditional land management.
- ▶ Localised visual impact of horse paddocks.
- ▶ Pressure for further urban development, in particular around Horsham.
- ▶ Potential for increased recreational pressures around Horsham.

## Landscape and Visual Sensitivities

The overall condition is good with some local areas of decline of unspoilt character in the Horsham area. Overall sensitivity to change is high, reflecting many landscape qualities of the area, and visual prominence of some valley sides.

## Key sensitivities are:

- ▶ Small scale incremental changes eroding rural character.
- ▶ Maintenance of historic character made up of dispersed historic farm and manor buildings, stone bridges and small irregular fields.
- ▶ Loss of riverside trees and vegetation.
- ▶ Any development which would damage the integrity of the valley floor or sides.
- ▶ Unsympathetic flood defences.
- ▶ Change in agricultural practices – pasture improvement and land drainage.
- ▶ Expansion of horse paddocks.
- ▶ Change to river banks and drainage for wildlife by unsympathetic reprofiling.
- ▶ Any large scale housing/commercial development.

## Conserve the rural character of the valley.

- ▶ Ensure any development on the valley sides respects historic settlement pattern, form and building materials, and is integrated into existing landscape pattern of small woodlands and hedgerows.
- ▶ Promote natural watercourse management avoiding the introduction of engineered flood defences.
- ▶ Conserve and manage valley side woodland and hedgerows.
- ▶ Create new wetland areas such as reed beds and marsh.
- ▶ Conserve the wildlife potential of wetland areas by controlling scrub, to avoid suppressing marshland plants and drying out of the ground.
- ▶ Promote the use of pollarding of wetland trees and shrubs as a management technique.
- ▶ Seek to reduce the intensity extent and visual impact of horse grazing.
- ▶ Conserve historic stone and brick bridges.
- ▶ Conserve and extend existing grassland, managing for species richness.
- ▶ Where possible enhance the wildlife potential of river banks and drainage channels by reprofiling in a sympathetic manner.
- ▶ Encourage clearance cycles of watercourses that increase floristic diversity.





# Southern Low Weald

This Character Area stretches from the Upper Arun Valley in the west to the Upper Adur Valley in the east. It is a relatively low-lying, gently undulating clay landscape, drained by shallow stream valleys. Occasional outcrops of sandstone create low ridges. An intricate pattern of small pastures, enclosed by hedgerows and shaws, contrasts in places with a broader, open, homogenous arable landscape with some large fields. Suburban elements and associated roads dominate larger settlements. Immediately outside the main settlements, landscape is rural and peaceful.



## Key Characteristics

- Mostly low-lying, flat to gently undulating landscape.
- Occasional low wooded ridges in the east of the area.
- Intricate patterns of small pastures and large arable fields.
- Where field sizes have been enlarged by removal of hedgerows, remnants of irregular ancient field patterns are still visible.
- Variable hedgerow network, fragmented and depleted in places.
- Old hedgerow alignments are indicated by isolated oak trees standing in broken lines.
- Distinctive scatter of isolated semi-natural copses, woodlands and linear streamside woodlands.
- Many hedgerow oak trees, some stag-headed.
- Occasional long views to the South Downs and the High Weald.
- Remote rural character in the west. Roads, pylons and suburban influences evident in the east.
- Traditional building materials are of timber frame, brick, tile and Horsham Stone.
- Winding lanes, some narrow, some with wide verges, link scattered hamlets and farms.

## Historic Features

- Evidence of Roman occupation. Route of Roman Road of Stane Street.
- Moated farmsteads, windmills and watermills.
- Pattern of small fields as a result of clearances of ancient Weald wildwood.

- Scattered brickworks and brickyards, and some iron workings.
- Collection of flint workings across the parish including Adversane and Okehurst

## Biodiversity

- Overall biodiversity is reduced by extent of arable farmland in some areas.
- Small blocks of ancient coppice woodlands at Rosier Wood - Site of Nature Conservation Importance (SNCI), Great Lordings Wood and Marringdean Wood around Billingshurst.
- Field ponds.
- Veteran or isolated field trees and hedgerow trees. Good hedgerow matrix.
- Streamside vegetation and ditches with marginal vegetation.
- Water, wet grassland, stream and meadow habitats including SNCIs at part of the Wey and Arun Canal, Lording's Farm Meadows, Hookland Farm Meadow's, Northwood Farm Fen and Brinsbury College.
- Areas of unimproved neutral grassland, including SNCIs at St Cuthman's Pond and Cattlestone Farm.
- Coneyhurst Cutting, (area 0.15 ha/ 0.37acres ) is a site of geological importance. It is a road cutting of Palundina Limestone, rarely seen limestone, once used for interiors, especially for ecclesiastical buildings and of particular interest to architects, historians and archaeologists.

## Change - Key Issues

- Continuing hedgerow removal and lack of management.
- Over-maturity and decline of hedgerows and field trees.
- Pylon routes.
- Increasing traffic pressures.
- Visual impact and loss of tranquillity associated with major road improvements.
- Introduction of large farm buildings.
- Development pressures around the edges of some settlements.
- Lack of appropriate management of riverside habitats or water meadows.
- Drainage 'improvements' increasing peak flood flows downstream and reducing residual stream flows during dry summer months.

## Landscape and Visual Sensitivities

Key sensitivities are:

- Removal of hedgerows.
- Loss of individual specimen trees in hedgerows and fields.
- Unsympathetic riverside development or drainage of water meadows.
- Intrusion of urban development around the major settlement of Billingshurst, and extensions to smaller settlements such as Southwater and Coolham.
- Road improvements.

## Conserve and enhance pastoral rural character. Maintain the historic character of the area, including moated sites, and the pattern of small irregular fields.

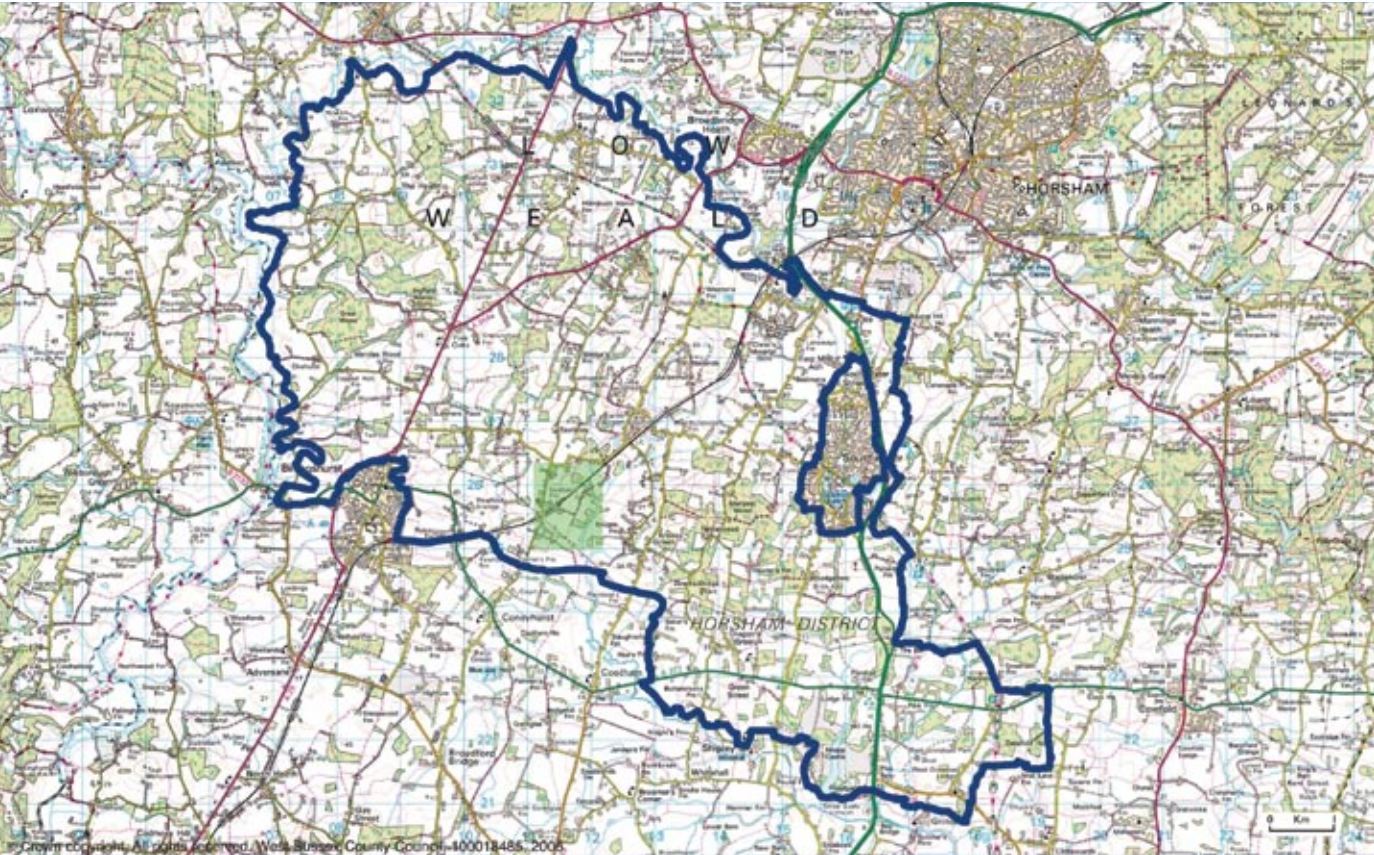
- Conserve and manage existing tree and woodland pattern, especially coppice and streamside woodlands and ponds, copses, tree lines and mature hedgerow trees.
- Promote the replacement of hedgerow trees by replanting or selection of regenerated trees to perpetuate features.
- Maintain and strengthen existing hedgerows and shaws. Conserve hedgerows by careful management and infill planting.
- Restore and create a network of new, small broadleaved farm woodlands, hedgerows and shaws throughout the area, whilst maintaining long views to distant ridges and respecting existing field patterns.
- Consider carefully the design of rides and extraction routes to avoid straight lines and uniform widths.
- Encourage planting field corners with native tree and shrub groups linking in with hedgerow and tree belts.
- Encourage group tree planting along the edge of the Rivers Arun and Adur to link in with field boundaries.
- Maintain and manage river and streamside vegetation for both nature conservation and landscape value.
- Promote the creation of arable field margins, particularly where arable land borders the sides of streams.
- Manage and restore field ponds as valuable wildlife stepping stones and landscape features. Conserve the character and extent of meadow pasture.
- Consider the cumulative impact on landscape character of small developments and landuse change. Avoid the introduction of suburban styles and materials.
- Establish new hedgerow and hedgerow tree planting alongside major roads such as the A29 and A24 to blend with existing woodland and hedgerow patterns, and along lanes to mask the visual impact of pylons.
- Ensure any new development is well integrated into the wider landscape. Use new woodland, shaw and hedgerow planting as appropriate. Encourage new tree planting within settlements where appropriate.





# Central Low Weald

This large Character Area is in the centre of the county stretching from Slinfold to West Grinstead. It is a mainly pastoral landscape with a well-wooded character. Local character varies depending on the presence or otherwise of large parkland estates, concentrations of horse paddocks, and major roads and suburban development. Many small farms and cottages are concentrated along lanes and a few historic linear villages are often located at crossroads. These villages, especially those on the major roads, tend to have a suburban character.



## Key Characteristics

- Gently undulating landform.
- Predominantly small to medium-sized pasture fields, enclosed by woodlands, shaws and hedgerows.
- Some larger arable fields.
- Local concentrations of horse grazed paddocks and golf course development.
- Dense cover of ancient broadleaved woodlands and conifer plantations.
- Small stream valleys draining to the Adur and the Arun.
- Some large country houses and parkland.
- Green lanes and droveways.
- Many scattered, traditional Wealden farmsteads and cottages and a few linear villages.
- Crossed by major transport links north south, both road and rail.

## Historic Features

- Route of the Roman Road of Stane Street.
- Old droveways.
- Small and medium-sized assarts. Linear patterns associated with droveways and irregular fields radiating out from settlements.
- Large blocks of historic parkland at Knepp Castle and West Grinstead Park to the south. Smaller blocks of parkland either side of the A29 such as at Slinfold, Summers Place and Lydwicke.
- Various brickwork and brickfields

## Biodiversity

- Wet woodland, including willow and alder woodlands on wet ground along streams. Slinfold Stream and Quarry and Coppedhall Hanger are Sites of Special Scientific Interest (SSSI).
- Some unimproved grasslands. Walden Close Meadow is a Site of Nature Conservation Importance (SNCI).
- Many small to medium-sized broadleaved semi-natural woodlands, some of which are also SNCIs such as Bishops Wood, Lannards and Long Copses, Horsham Common, Alder Copse, Coate's Furzefield and Constable's Furze.
- Ancient woodland – notably large blocks at Bignor Wood and Great Wood to the north and Madgeland Wood and Marlpost Wood to the south.
- Field corner ponds and hammer ponds.
- Biodiversity reduced by intensive arable fields and plantation woodlands.

## Change - Key Issues

- Poor hedgerow and woodland management.
- Fragmentation of hedgerows and loss of hedgerow trees and pasture or field trees.
- Neglected ponds.
- Increased traffic.
- Expansion of horse paddocks.
- Increased use of rights of way network.
- Road improvements along A29 and A24.
- Suburban development, in particular around Southwater and Billingshurst settlement fringes, and along main roads.

## Landscape and Visual Sensitivities

- Key sensitivities are:
- Unsympathetic urban development, changes in settlement pattern and addition of suburban features.
  - Unsympathetic or major transport improvements.
  - Loss of woodland cover or diversity of woodland due to plantation planting or lack of management.
  - Changes in land management practices leading to change in field sizes, and loss of hedgerows and isolated pasture trees.
  - Loss of tranquillity.
  - Rights of way network vulnerable to reduction in quality due to poor drainage management and increased use.
  - Subdivision of fields and changes in boundary styles linked to increase in horse paddocks.

## Conserve predominantly wooded character of the area, and its existing tranquil, rural qualities, and ensure that new development is well-integrated within the landscape.

- Maintain the historic character of the area, including the pattern of small fields and network of droveways.
- Maintain and restore hedgerows and shaws. Link hedgerows through new planting and aim for good wildlife corridors via trees, woodland and hedgerows across land parcels
- Encourage the development of hedgerow trees through tagging especially on roadsides.
- Replant and manage isolated trees in pasture.
- Conserve and reinstate small scale hedgerow cover and pasture wherever possible. Assess the potential for transferring marginal yield arable to pasture.
- Conserve and encourage sound management of all woodlands.
- Support and promote woodland industries.
- Create new woodlands, linking in with existing field boundaries to extend and link existing woodland areas.
- Conserve and manage streamside vegetation and ponds.
- Encourage management of streamside vegetation to perpetuate conservation and landscape interests.
- Seek to reduce the extent, intensity and impact of horse grazing. Encourage the planting of tree belts and hedgerows around horse paddocks.
- Encourage landscape enhancements to existing village edges and road approaches.
- Increase tree cover to enhance village approaches and fringes. Plant amenity trees in villages.
- Consider the cumulative impact on landscape character of small developments and land use change. Avoid the introduction of suburban styles and materials.
- Conserve existing green lanes and drove roads, and conserve and enhance rights of way network.
- Reduce nitrate inputs to increase floral diversity in meadows and re-instate hay cutting regimes.
- Encourage removal of visually and ecologically intrusive conifer plantations and leylandii hedge and tree planting.
- Encourage dredging of old silted up ponds and creation of new ones.





# 10. Design Principles

As has been stated previously the design principles are intended to apply to any future development in Billingshurst itself and the other centres of habitation within the parish boundary. It is applicable to all developments, whether industrial, commercial or domestic, whether the construction of a large housing estate, a group of buildings or the alteration or extension of an existing property. Reference should be made therefore to relevant sections as appropriate.

It is important that the impact on the Conservation Areas (views, traffic, etc) is considered when looking at the parish of Billingshurst as a whole. It is not enough that the building design within the Conservation Areas is adhered to. Billingshurst and Adversane must remain living settlements and any enhancement of publicly used buildings (e.g. church, public house, village hall) should be in keeping with the Conservation Area.

## 10.1 Design Principles

- Existing waterways, lakes, ponds and springs should be retained wherever possible and there should be a buffer zone alongside or surrounding each of these features.
  - Overhead electricity and telephone lines should be avoided, particularly within new developments. The burying of electricity and telephone lines underground is to be preferred.
  - All telephone and communication masts should be discreetly hidden.
  - All new building and development should avoid low lying areas to prevent future flooding. This is particularly important in the Arun Valley.
  - Existing hedgerows and woodlands should be retained wherever possible.
- Woods and copses should be surrounded by buffer zones and no building development should be permitted inside them. See appendix 2 for details on the named woodlands within the parish.
  - All development should incorporate existing trees wherever possible and shrubs native to the area should be planted as screening.
  - Attention should be paid to energy conservation, individual electricity generation by way of photo-voltaic cells or small wind turbines, the use of ground heat generation and solar heating panels. Such facilities should not be visually intrusive.
  - Attention should be paid to water conservation including re-use of grey water and rainwater butts.
  - Major new development, whether industrial, commercial or residential should include additional amenity space e.g. grass, shrubs or woodland. Residential development should include suitable children's play facilities and allotment land as appropriate to the scale of the development and expected occupancy.



Retention of existing watercourse and construction of rustic bridge over Parbrook at Natts Lane



Open space/retention of mature trees. Registered Village Green in Broomfield Drive

**Below and left:**  
Open space/play areas. Views along the open space running from Anvil Close and Wicks Road to Forge Way.





## 10.2 Principles Applicable to Commercial or Industrial Development

- Development should, in principle, be apart from domestic development. Where this is unavoidable development should be sympathetic with local domestic architecture and any impact softened by the use of buffer zones of planting or screening.
- Parking in industrial areas continues to be a problem and encouragement should be given to the use of public transport, private bussing or other green travel arrangements.
- Vast areas of paving should be discouraged such as that seen in Gilman's industrial estate (bottom). Green spaces should be encouraged between units.
- Street furniture and lighting should be similar to that advocated for domestic estates.
- The landscaping principles laid down in Section 10.3 should apply to industrial and commercial development.



Daux Road



Brookers Road



Sympathetic Commercial Development: Brookers Road



Gillmans Industrial Estate

## 10.3 Principles Applicable To Domestic Estates or Groups of Buildings

### General Site Layout

- Small informal groups of dwellings should be provided wherever possible to avoid monotonous or repetitive patterns of development. Dwellings should be either oriented towards the highway with staggered frontages or grouped around an open space to form squares with the objective of creating interesting spaces, and a sense of 'place'.



Lakers Meadow

- Frontage development should be predominantly open plan which is broken up through the use of soft landscaping (hedges and shrubs etc), and sympathetic boundary treatment such as low walls, picket or post and rail fencing. Long stretches of boundary walling along the highway should be avoided. Footpaths should wherever possible be segregated from the highway to form landscape verges.



Penfold Grange

- Pockets of higher density development may be acceptable to contrast areas of lower density housing with small areas of open space to allow for high quality soft and hard landscaping. Courtyards of smaller dwellings should be designed with integrated parking and either enclosed with larger dwellings to form courts or visually dispersed against open space.

- Private drives should be grouped where appropriate to create informal and individual housing clusters. Each housing area should ensure the integration of existing landscape features, areas of new planting, paved roads and footways, with dwellings sited to enhance individual spaces.
- Long sections of rear garden fencing facing the highway should be avoided. Where garden boundaries can be seen they should be either brick to match the dwelling or close boarded fence, and screened with appropriate landscaping to soften the impact.



Above: Penfold Grange  
Below: Holders Close





Garages and Parking

- Garages should be either be integrated with the house or free standing or in groups, but visually integrated within the development.



- All garages should have pitched roofs with the pitch matching adjacent dwellings, and constructed using the same materials as within the overall development.



- Treatment given to fascias, garage doors etc, should be complimentary to the colours of other materials on the site.



Fittings and Street Furniture

- House numbers, street names and other signs should be of a uniform design suitable for a rural environment and compatible with the design of other street furniture in the locality.
- Other street furniture, including bollards and street name plates should be of a consistent high quality style and design, compatible with the design of street lighting and other fittings.

Street Lighting

- From the range of street lighting provided by the County Council suitable decorative lantern and column types should be selected that are compatible with the locality.
- Normally column heights should be no more than 5 metres. Concrete columns are not acceptable.
- Street lighting pollution should be avoided or reduced.



Residential Roads

- Within the constraints set by the County Councils Local Design Guide, careful consideration should be given to the role of the highway network within the overall design of the development to achieve an attractive and varied environment and maintain the rural character of the locality.
- The surfacing of spine roads and minor access roads (non cul de sac) and associated footways should be in accordance with the County Councils Local Design Guide. All other roads and footways within housing areas should be surfaced with a mixture of concrete block paving, clay paviors or paving setts. To maintain the rural environment excessive areas of paved areas should be avoided. Bituminous macadam or asphalt should not be used. The use of gravel is acceptable in lower density areas for private shared driveways.

Off-Street Parking

- Whilst the local planning authority is governed by Planning Policy Statement 3 for the provision of off-street parking to accompany new development, it should be noted that on-street parking is already at a premium in Billingshurst.
- Any additional new development within current settlements should give due consideration to the additional strain more vehicles may place on the already congested roads. Care should be taken to ensure that emergency access is maintained. Particular attention must be given to the areas around the station and village centre favoured by commuters and shop/office workers respectively.

Landscaping

- Existing trees subject to Tree Preservation Orders, and any other trees, hedgerows, landscape features, footpaths, streams and ponds etc should be preserved and integrated into the development design.
- Suitable landscaping should be provided in the form of shrub and tree planting to enhance the existing landscape, and the visual appeal of the housing areas along frontages and within pedestrian areas. Trees and hedgerows lost due to the development should be replaced with native species as part of the overall landscape strategy for the development.
- Suitable arrangements should be made by a developer to ensure the landscape areas can be maintained and provision made for the replacement of dead or diseased planting.
- Provision should be made for footpaths and cycleways to link to other parts of the parish to promote sustainable travel.
- Provision of open spaces to create a sense of space in new development and provide informal recreation areas.





## 10.4 Principles Applicable to Individual House Design

### House Design Generally

House designs should generally reflect the traditional vernacular architecture of Sussex and in particular the parish of Billingshurst. This being said it must be borne in mind that there are discrete areas of Billingshurst itself and the local areas of habitation where insistence on such architecture would mean that the new house would not 'fit in'. In these areas more attention should be paid to the more local styles. This is particularly true of areas of more recent development. Where however the development proposed is separate from existing development, more traditional architecture or even more contemporary design can be made quite sympathetic.

Dwellings should have narrow gable widths and steep pitches with, where appropriate, attached garages and lean to porches to add visual interest to individual house designs. Chimneys should be incorporated wherever possible.

Within the constraints of current building legislation the scale of each building should reflect that of existing buildings in the locality together

with the ratio of window to wall, and proportionality of window height to width.

### Roofs

An interesting and varied roofscape is required that reflects local vernacular architecture. Roof pitches should be generally 40 degrees or more. Hipped gables could be introduced to soften the outline and to create greater gaps between adjacent dwellings.

Dormer windows preferably with tiled pitched roofs may be introduced to add interest to the roofscape.

Eaves should have a reasonable projection and gable verges should be traditional in appearance.

Roofs in general and smaller areas such as front porches should be clad in plain tiles. Dwellings in prominent locations should be clad with clay plain tiles.

Tiles should be either red/brown, red/blue or orange selectively used in prominent locations, in with concrete substitutes matching accordingly. Slates or appropriate substitutes may be used, as slate has been traditionally used in the parish. Interlocking tiles or pantiles are not acceptable.

### Walls

The predominant wall material found within the parish is brick or brick with tile hanging. To a lesser extent painted brick or render and timber cladding can be found. Local brickworks are at Thakeham, Rudgwick and Ockley, all of which produce stock bricks which range in colour from orange to red/brown, red/blue and blue/grey.



Five Oaks

All bricks used should be stock bricks from local brickworks or a matching equivalent from elsewhere. Sand faced bricks or yellow London Stocks should not be used. For larger developments in excess of 50 units a minimum of three brick types should be used.

Bricks of a contrasting colour or different texture should be used for detailing in places such as for lintels, cills, plinths, quoins, dentil courses at eaves and around chimney stacks to reflect traditional building techniques and materials found in Billingshurst and its surroundings.



West Street



Kings Arms



Penfold Grange

The use of tile hanging should predominate with decorative tiling being used to add interest and reflect its use elsewhere in the parish. The use of handmade clay tiles is to be encouraged.

To add variety the use of painted brick, render and timber is also to be encouraged.

### Colours

Doors, windows, rainwater goods and cladding, whether self coloured or with a decorative applied finish should be of a warm natural colour or white, that may either blend or contrast with the background surface material.

### Windows

Windows should be in keeping with local vernacular design, e.g. Georgian bars or hipped sash windows should be replaced by the same style. Windows should preferably be made from appropriately treated timber from sustainable sources



Lower Station Road



Parbrook



Kings Arms Market Room



Five Oaks





10.5  
Principles Applicable to Individual House Alterations or Extensions

- Alterations and extensions should be in keeping with the design of the house being amended and the neighbouring houses.
- The basic principles laid down in Section 10.4 should generally apply.

10.6  
Principles Applicable to Farm and other Buildings in Rural Areas

- Alterations and extensions should be in keeping with the design of the building being amended and neighbouring buildings.
- The basic principles laid down in Sections 10.2 and 10.4 should generally apply.
- New buildings should be carefully sited and constructed in sympathetic materials and colours such that visual impact on the surrounding countryside is minimised.

10.7  
Principles for Retail Footprint

- With the expanding population of Billingshurst, it is essential to retain the local retail footprint to provide shopping facilities in close proximity to homes.

10.8  
Principles for High Street

- Preserve High Street footprint as village centre
- Promotion of accommodation above shops
- Resist conversion of commercial units into homes



Appendices

Contents

Appendix 1 ..... Conservation Areas  
Appendix 2 ..... Named Woodlands  
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Appendix 5 ..... Acknowledgements



The Conservation Areas

There are two conservation areas within the parish: Billingshurst and Adversane.

Billingshurst

Billingshurst has a large conservation area, designated on 01 September 1974, extending both sides of Stane Street (formerly A29) north and south and both sides of the A272 east and west (see map). In the central core of the village are buildings from many periods and most of the listed buildings in the parish are to be found here. The “Street Scene” has been recorded many times in photographs and artists impressions and is much prized by the residents.

At the centre, at the junction of the A272 east and Stane Street, is the causeway and the village green (registered) leading up to the parish church of St Mary.

protected by conservation status. Some cottages are of timber frame construction. Any recent modern additions (except the 1960's part of Jengers Mead) have been built to designs which blend with the age of the earlier properties and preserve the cottage like roof lines and brick elevations.

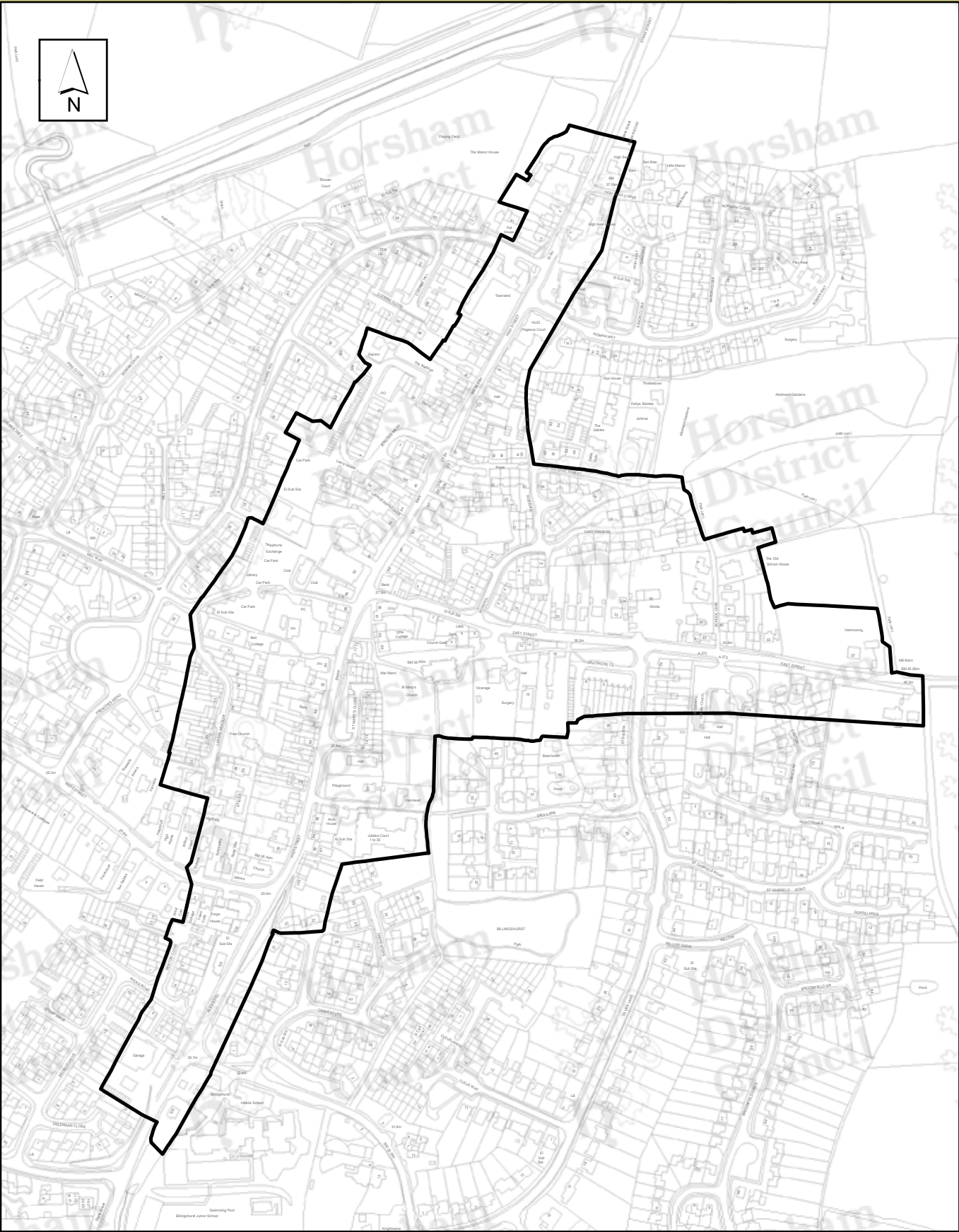
The 1960's development of Jengers Mead failed completely to preserve the historic centre of the village. This development must not be taken to constitute a precedent for design and build quality in the future.



The church, with its shingled broach spire dominates the village and is visible from many parts of the Parish. These views are very precious and worthy of protection by preventing new buildings obscuring the line of sight to the church spire wherever possible.



The houses bordering the green are of special architectural and historic interest. Causeway Cottage and Tithe Cottage originally form part of a Wealden House of the 14th or 15th Century. Bordering the High Street are shops and cottages



Billingshurst Conservation Area		Horsham District Council	
Reference No :		Park North, North Street, Horsham	
Date : 26/9/07		West Sussex, RH12 1RL.	
Drawing No :		Head of Development, Ray Wright, Directorate of Planning	
Scale : not to scale		Reproduced from the Ordnance Survey map with the permission of the	
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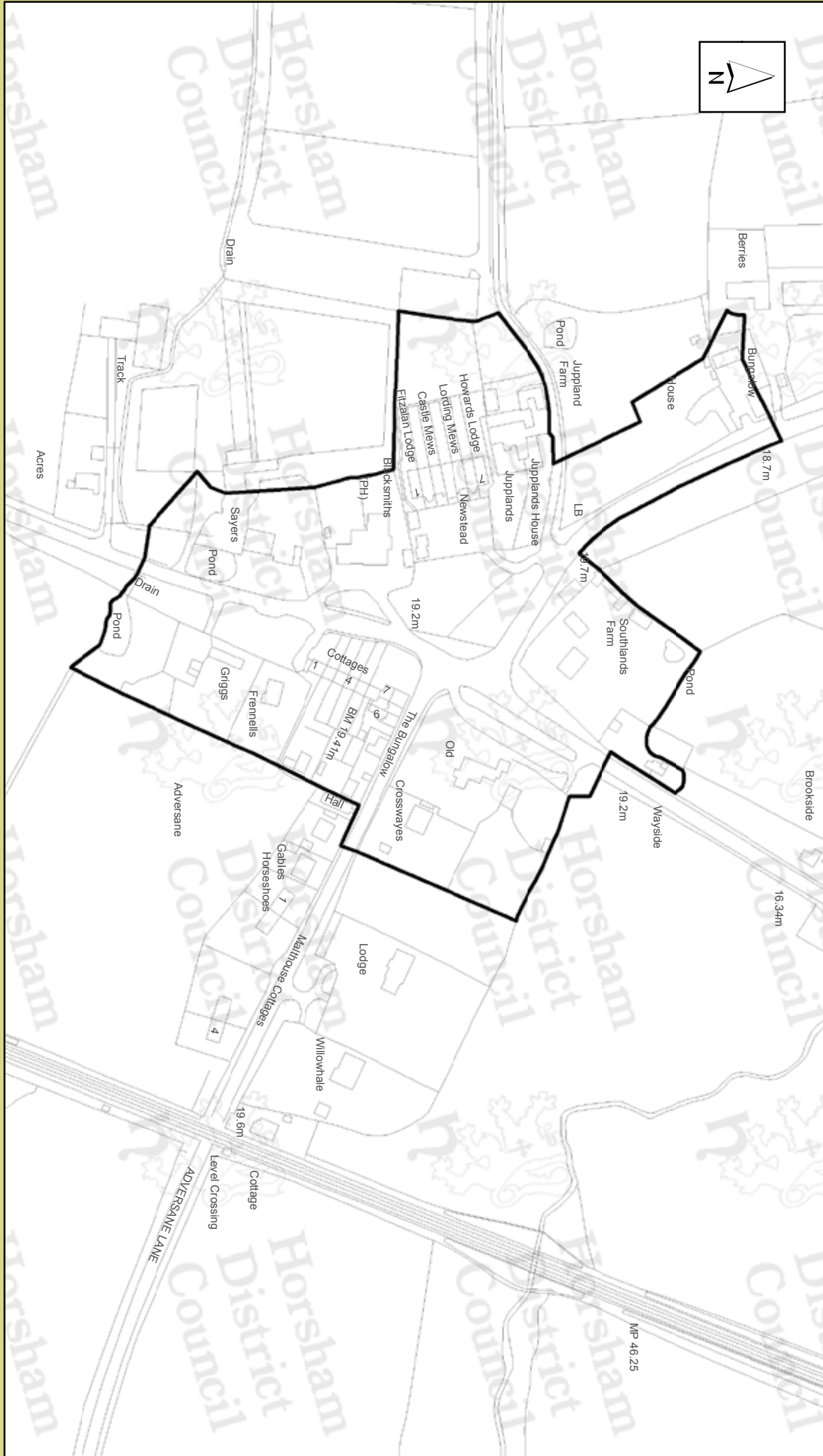


Adversane Conservation Area			
Reference No :	Date : 9/10/07		Scale : 1:2500
Drawing No :	Drawn :	Checked :	Revisions :

**Horsham District Council**  
ParkNorth, North Street, Horsham  
West Sussex, RH12 1PL  
Head of Development, Ray Wright, Directorate of Planning

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The Adversane Conservation area is located around the crossroads made up of the A29 and B2133. There is a registered village green fronting the row of listed cottages on the eastern side of the A29. In the hamlet there are several buildings of great historic interest Old House dating from 1470, the Blacksmith's Arms from the 17th Century and Griggs Cottage from between 1430 and 1450. Part of Adversane House was built in 1746. No recent development has taken place except for the demolition of an hotel and the rebuilding on the same site of a terrace of large properties in suitable style for the conservation area.





## Appendix 2

### Named Woodlands (listed across the Parish West to East)

Map Reference	Wood
Northing 29	Leverance Copse, Holmans Copse
Northing 28	Bignor Wood, Pond Wood, Great Wood, Spar Wood, Ridges Hanger, Square Copse, Bishop's Wood.
Northing 27	Riefeld Hanger, The Hanger, Coppenhall Hanger, Leypold Hanger, The Hanger, Dirtydale Wood, Prior's Furze,
Northing 26:	Eaton Copse, Pratt's Copse, Duckmoor Copse, Grassy Copse
Northing 25	Woodhouse Copse, Ten Acre Copse
Northing 24	Lordings Rough, Great Lording Wood, Daux Wood, Rosier Wood, Stonepits Rough, Beck Copse, Court Plantation,
Northing 23	North Wood, Hadfold Wood, Marringdean Wood.

## Appendix 3

### Registered Greens, Open Spaces and Playing Fields

#### Registered Greens:

Billingshurst Village Green  
Broomfield Drive  
Groomsland Drive

#### Open Spaces:

Adversane Common  
Five Oaks Playing Field  
Forge Way/Wicks Road  
Cherry Tree Close  
Manor Fields  
Lower Station Road  
Station Road Gardens  
Cleveland Gardens  
Jubilee Fields  
Carpenters Green  
Frenches Mead Green

#### Play Areas:

Bridgewater Close  
Cherry Tree Close  
Cranham Avenue  
Five Oaks  
Forge Way  
Manor Fields  
Lower Station Road  
Ostlers View  
Roman Way  
The Mother's Garden  
Penfold Grange x 2

## Appendix 4

### Further Reading / References

Global warning predictions  
Milestone Statement '95 (West Sussex CC Footpath Advisory Group)  
Wildlife Bill  
Wey & Arun Canal Trust Reports  
West Sussex Wildlife Trust Reports  
RSPB Reports  
English Nature  
Woodland Trust  
Land Management Guidelines, West Sussex County Council

## Appendix 5

### Acknowledgements

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Photographs: Colin Gallani, Richard Stucke, Adrian Bell.

Action in Rural Sussex  
Horsham District Council  
Sussex Biodiversity Record Centre  
West Sussex County Council

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# Design Statement for the Parish of Billingshurst

